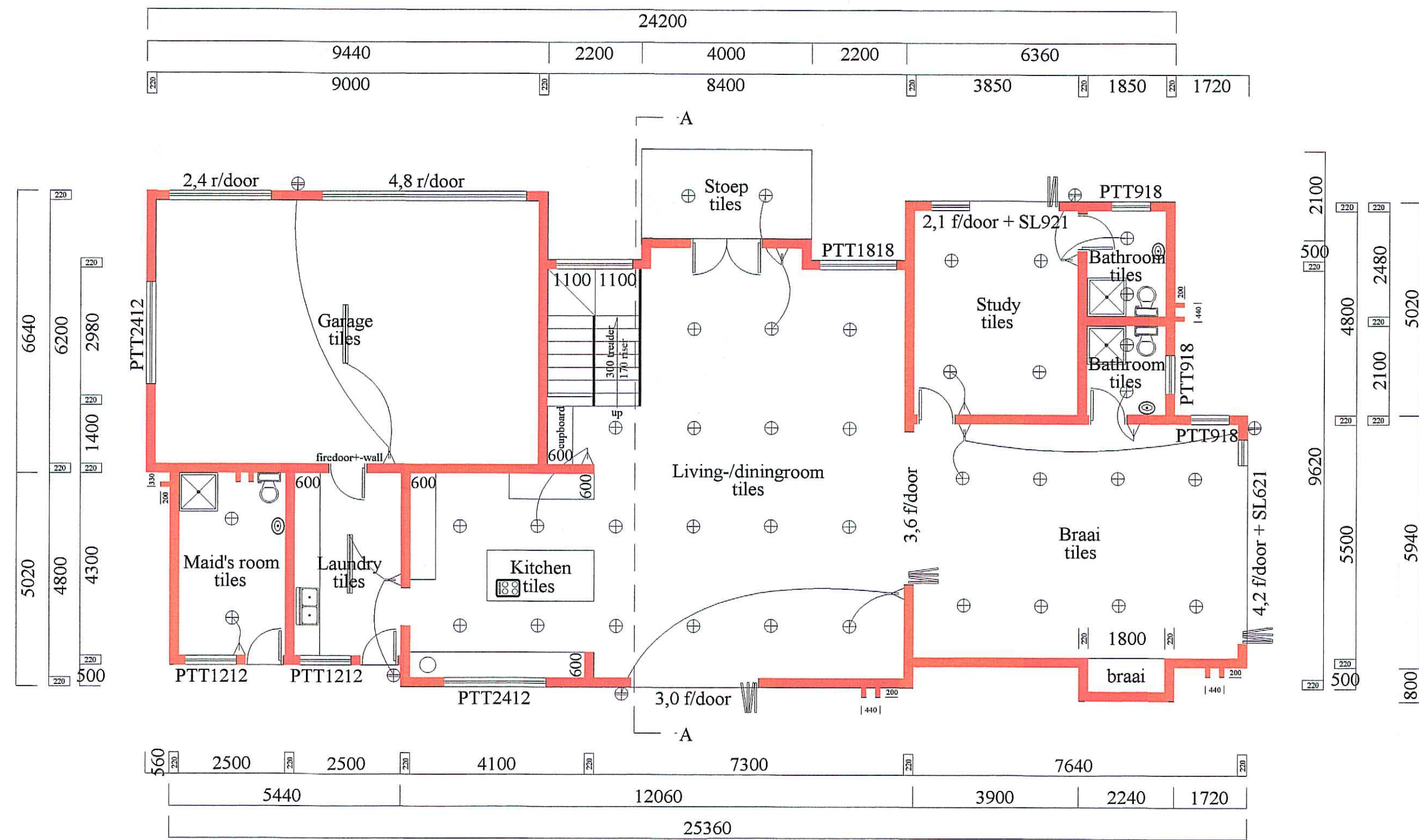


GROUND FLOOR PLAN
SCALE = 1 : 100



AREA GROUND FLOOR

AREA DWELLING = 209,84 m²
 AREA GARAGE = 62,68 m²
 AREA STOEP = 8,4 m²
 TOTAL AREA = 280,92 m²

PERCENTAGE COVERING = 26,67 %

NETTO FLOOR AREA = 186,62 m²
 AREA FENESTRATION = 45,54 m²
 PERCENTAGE = 24 %
 U Value = 5,2
 SHGC = any solution for orientations
 LowE glazing to be used

SUMMARY ELECTRICAL CONSUMPTION

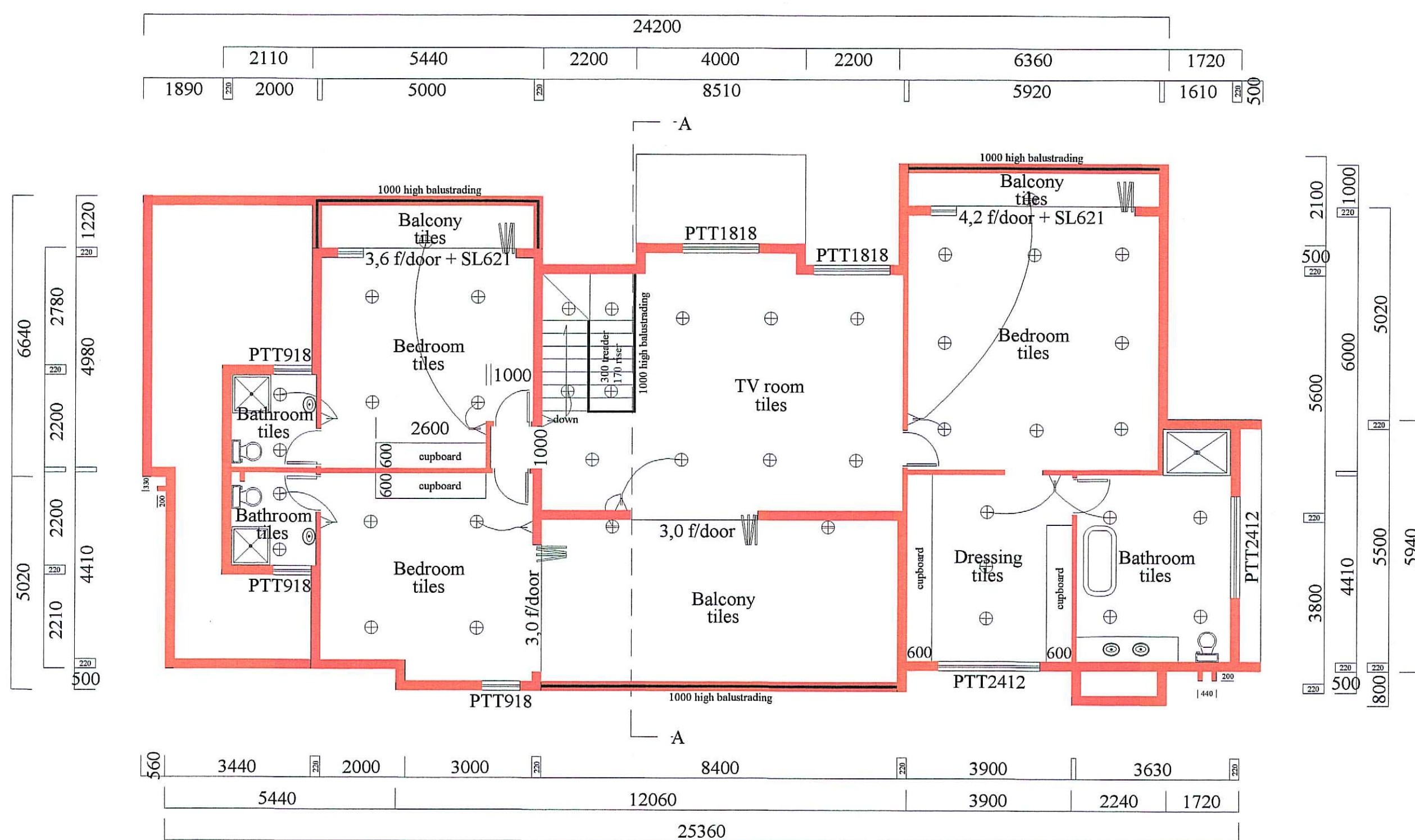
	required	allowable	actual
energy demand	5 W/m ²	2398 W/m ²	1098 W/m ²
energy consumption	5 kWh/m ²	2398 kWh/m ²	

ELECTRICAL LEGEND

	11w LED ceiling light
	11w LED wall mounted light
	76w fluorescent ceiling mounted
	double light switch
	single light switch
	double plug
	television point

All electrical installation to specialist design and procurement.
 All electrical work to adhere to SABS & SANS standards.
 Only SABS approved components to be used.
 Lighting specialist to be consulted to achieve proper lux levels for each room/area.
 Home automation to be coordinated with specialist and recommendation to electrical layouts.
 Additional conduit piping to be introduced and routed to appropriate position for future proofing and additional home automation solutions.

FIRST FLOOR PLAN
SCALE = 1 : 100



FIRST FLOOR PLAN

SCALE = 1 : 100

AREA DWELLING = 198,76 m²
 AREA OPEN BALCONIES = 40,39 m²
 AREA COVERED BALCONY = 6,36 m²

PERCENTAGE FIRST FLOOR : GROUND FLOOR = 73 %

NETTO FLOOR AREA = 177,92 m²
 AREA FENESTRATION = 48,60 m²
 PERCENTAGE = 27 %
 U Value = 4,4

SHGC = any solution for South orientation
 SHGC = 0,53 for West, North, North-East and East sector

NOTES:
 Quality of all materials and workmanship to comply with local authority national building regulations, S.A.B.S. specifications and the NHBRC
 The contractor is responsible for the correct setting out of the building's
 All building lines, servitudes, dimensions, boundaries, levels, heights and dimensions are to be checked by the contractor
 Drainage directions and depth to be confirmed with the local authority
 All fixtures and fittings as well as all elements relating to the construction process must be in accordance with SANS 10400
 All construction to comply with SANS 10400 deemed-to-satisfy rules unless otherwise specified
 Electrical and plumbing work to be done by registered artisans
 Temporary abatement facilities should be erected if necessary & must conform to local authority requirements and SANS 10400 part F
 All materials used to be non-combustible

GLASS NOTES:
 All glazing to comply with SANS 10400 part N & SABS recommendation 0137 & 1263 - 2000 as well as AAAMSA regulations which are based on SABS 0137
 Glass lower than 300 mm to be Safety Glass

Dimensions for vertical glass supported by a frame on all sides in external walls

Type of glass	Maximum pane area m ²					
	Nominal glass thickness					
	3mm	4mm	5mm	6mm	10mm	12mm
Monolithic annealed glass	0,75	1,5	2,1	3,2	4,6	6,0
Patterned annealed/wired glass	0,75	1,2	1,9	2,6	3,4	4,6
Laminated annealed safety glass			2,9	4,3	5,7	7,7
Toughened safety glass	1,9	3,0	4,5	8,0	8,0	8,0

DRAINAGE NOTES:
 All drainage according to national building regulations SANS 10400 and to comply with local authority regulations
 Drainage pipes to consist of 100 Ø mm PVC soil pipes
 50 Ø mm PVC waste pipes from baths and showers
 40 Ø mm PVC waste pipes from h/wb ana sinks
 100 Ø mm PVC ventilation pipes to be installed at highest point/branches over 6 m/ branches with more than 1 outlet/sanitary group/gulleys and grease traps
 Foundations to be reinforced where pipes pass under floor slab
 Fall of drainage line to be 1 : 60 minimum

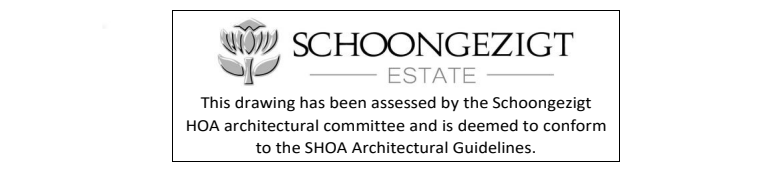
STRUCTURAL NOTES:
 All foundations to be in accordance with SANS 10400 part H1 2.2 - H1 2.4
 All floors of laundry, kitchen, shower, bathroom and wc to be water-resistant according to SANS 10400 part J 4.2
 Galvanised brickwork to be installed every four brick courses

OCCUPANCY CLASSIFICATION: H 4
ARCHITECTURAL APPOINTMENT
 * Partial service 5 - up to local authority submission only
 * Stage 1 - Stage 4.1 only
 * As set out in client agreement

ARCHITECT: JM du TOIT PRARCH 24751221
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 073 844 9178
 admin@duitoitarch.co.za
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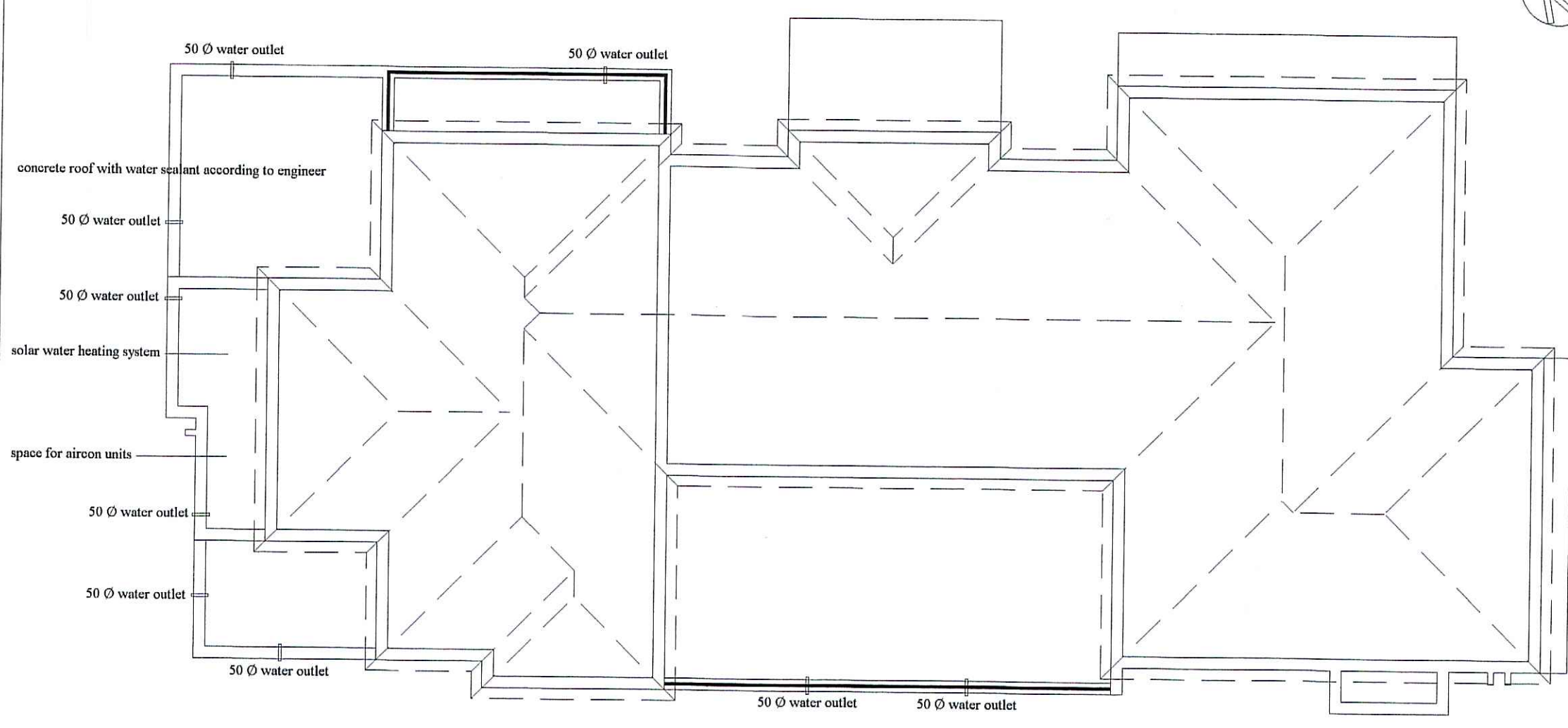


Client: JIMMY DU PLESSIS
 Client signature: _____ Arch signature: _____
PROPOSED NEW DWELLING ON ERF 2406 CASHAN X 7, PHASE 3, SCHOONGEZICHT, RTB.
 draughtsperson: DJ Strauss
 SACAP registration no: D2521
 Cell: 083 627 5085
 e-mail: d.strauss@mweb.co.za
 No 6 Villa Cariss, Azanza Ave 4
 PO Box 20750
 ProteaPark, 0305
 RUSTENBURG



DRAWINGS MUST NOT BE SCALED. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY WORK OR SETTING OUT OF THE CONSTRUCTION DRAWINGS. QUALITY OF MATERIALS AND WORKMANSHIP MUST COMPLY WITH THE LATEST RELEVANT CODES AND SPECIFICATIONS OF SANS AND SABS AND THE MINIMUM STANDARDS PRELIMINARIES (CRIC) AND MODEL PRE AMBLES FOR TRADE (2008 - ASQS) AND PROJECT SPECIFICATIONS.
 THE CONTRACTOR IS RESPONSIBLE FOR THE CORRECT SETTING OUT OF THE BUILDING AND ALL EXTERNAL AND INTERNAL WALLS WITH PARTICULAR REFERENCE TO BOUNDARIES, BUILDING LINES AND SETTING OUT POINTS. THE CONTRACTOR IS TO VERIFY ALL LEVELS, HEIGHTS AND DIMENSIONS ON SITE AND IS TO CHECK THESE AGAINST THE DRAWING BEFORE PUTTING ANY WORK IN HAND. THE CONTRACTOR IS TO LOCATE AND IDENTIFY EXISTING SERVICES ON THE SITE AND TO PROTECT THESE FROM DAMAGE THROUGHOUT THE DURATION OF THE CONTRACT. THE CONTRACTOR IS REFERRED TO THE STANDARD GUIDELINES FOR QUALITY CONTROL ISSUED BY THIS OFFICE FOR ALL MINIMUM REQUIREMENTS FOR WORKMANSHIP AND MATERIALS. THIS DOCUMENT IS TO BE USED IN CONJUNCTION WITH THIS DRAWING.
 ANY ERRORS, DISCREPANCIES OR OMISSIONS ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 ALL STRUCTURAL ELEMENTS TO BE ENDORSED BY ENGINEER/SPECIALIST

ROOFPLAN
SCALE = 1 : 100

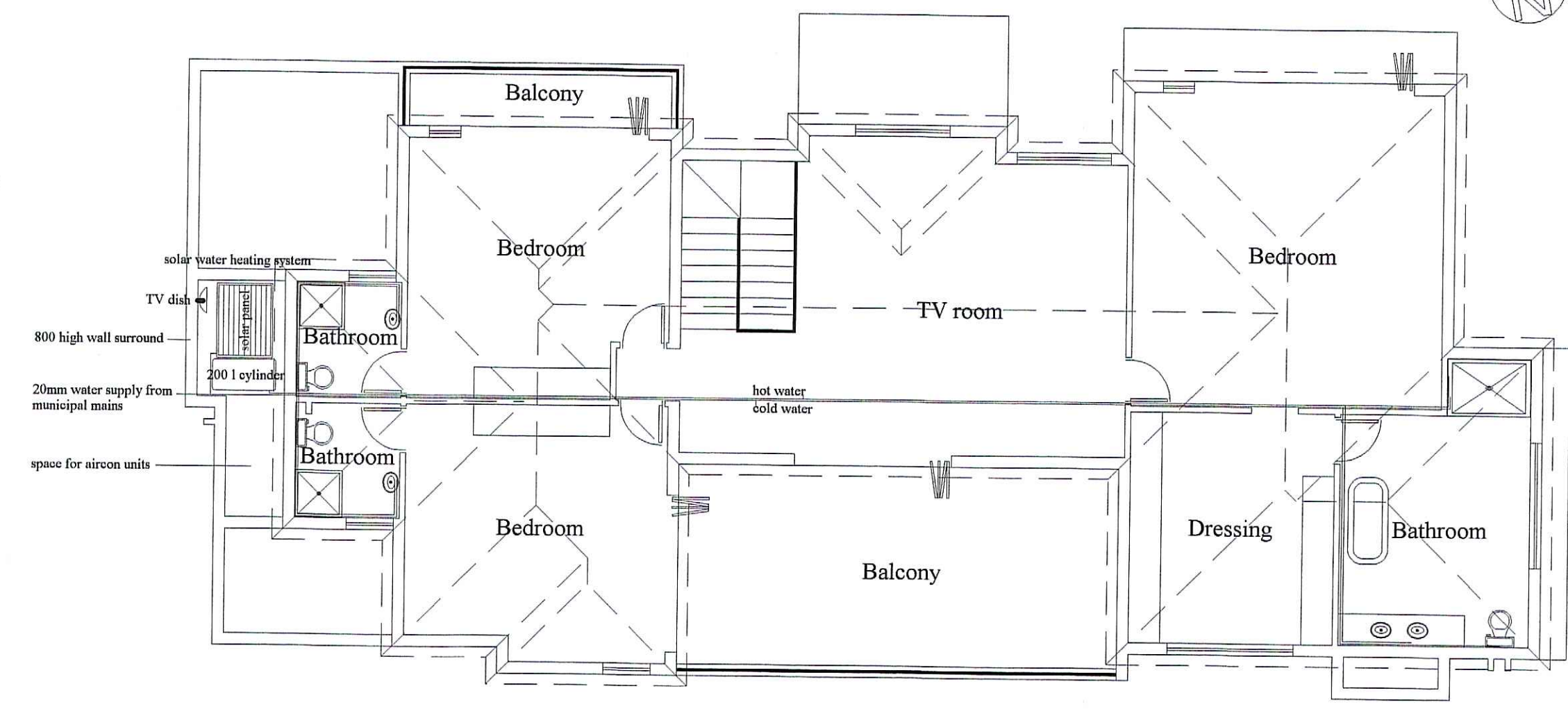


- GENERAL PLUMBING NOTES:**
1. ALL REQUIREMENTS LAID DOWN BY THE LOCAL AUTHORITY AND SABS CODE OF PRACTICE MUST BE STRICTLY ADHERED TO.
 2. DESIGN BASED ON MINIMUM MAIN SUPPLY PRESSURE OF 400kPa.
 3. NB: PRESSURE TO BE CHECKED BY PLUMBER PRIOR TO WORK COMMENCING.
 4. PIPE RUNS ARE DIAGRAMMATICALLY INDICATED ON THE DRAWINGS. THEIR EXACT POSITION SHOULD HOWEVER BE ESTABLISHED ON SITE.
 5. ALL PIPE WORK TO BE INSTALLED IN COMPLIANCE WITH MANUFACTURERS SPECIFICATION. PROVISION MUST BE MADE FOR THERMAL EXPANSION AND THE PROPER ANCHORING THEREOF.
 6. SUBTERRANEAN PIPING TO BE H.D.P.E. CLASS 12 S.A.B.S. 533. INTERNAL PIPING TO BE COPPER S.A.B.S. 460.
 7. ALL PIPE RUNS SHOULD BE FINISHED, FASTENED AND PRESSURE TESTED, PRIOR TO THE APPLICATION OF ANY TERMINAL FITTINGS.
 8. EXPANSION RELIEF AND SAFETY VALVE DRAIN PIPES MUST BE PIPED TO SUITABLE POINTS OF VISIBLE DISCHARGE AND IN COMPLIANCE WITH SABS 0245. THESE POSITIONS MUST BE DISCUSSED WITH THE ARCHITECT PRIOR TO INSTALLATION OF THE HOT WATER CYLINDER.
 9. ISOLATING VALVES TO BE INSTALLED AT SUITABLE POSITIONS TO ISOLATE WATER SUPPLY TO INDIVIDUAL AREAS.
 10. ALL HOT WATER CYLINDERS TO BE INSTALLED ACCORDING TO BALANCED HOT AND COLD WATER PRINCIPLES AND IN COMPLIANCE WITH SABS 0254 CODE OF PRACTICE.
 11. HOT WATER PIPING TO BE SUITABLY LAGGED AS PER SANS.
 12. GEYSER OVERFLOW POSITIONS TO BE DISCUSSED AND CO-ORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
 13. 2 X SETS OF AS BUILT DRAWINGS ARE REQUIRED UPON COMPLETION OF THE PROJECT.
 14. IT WILL BE THE RESPONSIBILITY OF THE APPOINTED SUBCONTRACTOR TO ENSURE THAT ALL THE REQUIRED SLEEVES THROUGH THE WALLS AND FLOORS ARE INSTALLED TIMELY TO PREVENT CORE DRILLING. THE PLUMBING SUBCONTRACTOR IS TO STUDY ALL THE DRAWINGS AND LIASE WITH THE ARCHITECT ON EXACT ROUTES OF SEWER AND WATER PIPING PRIOR TO INSTALLATION.
 15. ALL EXTERNAL ISOLATING VALVES FOR WATER SUPPLY TO BE BUILT INTO A 160X160X160 BESAANS DU PLESSIS STOP COCK BOX, AND TO BE CONCEALED IN THE GARDEN.
 16. ALL WATER PIPING TO BE PROPERLY SECURED IN ALL DUCTS AND ROOF SPACING WITH APPROVED STRAPS OR BRACES TO PREVENT BOUNCING OF PIPES.
 17. ALL COPPER PIPES TO BE WRAPPED IN BROWN PAPER WHEN INSTALLED INSIDE BRICKWORK AND CONCRETE.
 18. NO PIPE WORK WILL BE ALLOWED ON THE EXTERNAL FACADE OF THE BUILDING.
 19. THE PIPE WORK INSIDE SERVICE DUCTS MUST BE NEATLY FINISHED.
 20. 21. ANY DISCREPANCIES TO BE REFERRED BACK TO ARCHITECT, BEFORE WORK IS PUT IN HAND.
 22. INSTALLATION TO CONFORM TO SANS 10252 PART 2 AND SANS 10254:2004 CODE OF PRACTICE.
 23. ALL MATERIALS USED TO BE SABS APPROVED.
 24. ALL PIPING BELOW GROUND TO BE HDPE CLASS 12 OR EQUIVALENT. ALL PIPING ABOVE GROUND AND IN CHASES TO BE SABS TYPE 460.
 25. INSTALLATION TO BE CARRIED OUT BY A QUALIFIED AND REGISTERED PLUMBER.
 26. DRAWING TO BE READ WITH THE BATHROOM LAY-OUTS AND SPECIFICATIONS.

HOT WATER SERVICES

A minimum of 50% by volume of the annual average hot water heating requirement shall be provided by means other than electrical resistance heating i.e. solar heating or heat pumps. Solar water heating systems shall comply with SANS 1307 and SANS 10106, based on the thermal performance determined in accordance with the provisions of SANS 6211-1 and SANS 6211-2. The installation shall comply with SANS 10254 and maintained in accordance with SANS 10252-1. All exposed pipes to and from hot water cylinders and central heating systems shall be insulated as follows:

Internal diameter of pipe	Minimum R-value
≤ 80 mm	1,00
> 80 mm	1,50



- NOTES:**
- Quality of all materials and workmanship to comply with local authority national building regulations, S.A.B.S. specifications and the NIBRC.
- The contractor is responsible for the correct setting out of the building's.
- All building lines, servitudes, dimensions, boundaries, levels, heights and dimensions are to be checked by the contractor.
- Drainage directions and depths to be confirmed with the local authority.
- All fixtures and fittings as well as all elements relating to the construction process must be in accordance with SANS 10400.
- All construction to comply with SANS 10400 deemed-to-satisfy rules unless otherwise specified.
- Electrical and plumbing work to be done by registered artisans.
- Temporary abatement facilities should be erected if necessary & must conform to local authority requirements and SANS 10400 part F.
- All materials used to be non-combustible.
- GLASS NOTES:**
- All glazing to comply with SANS 10400 part N & SABS recommendation 0137 & 1263 - 2000 as well as AAAMSA regulations which are based on SABS 0137.
- Glass lower than 300 mm to be Safety Glass.
- Dimensions for vertical glass supported by a frame on all sides in external walls.
- | Type of glass | Maximum pane area m ² | | | | | |
|---------------------------------|----------------------------------|-----|-----|-----|-----|------|
| | Nominal glass thickness | | | | | |
| Monolithic annealed glass | 3mm | 4mm | 5mm | 6mm | 8mm | 10mm |
| | 0,75 | 1,5 | 2,1 | 3,2 | 4,6 | 6,0 |
| Patterned annealed/wired glass | 3mm | 4mm | 5mm | 6mm | 8mm | 10mm |
| | 0,75 | 1,2 | 1,9 | 2,6 | 3,4 | 4,6 |
| Laminated annealed safety glass | 3mm | 4mm | 5mm | 6mm | 8mm | 10mm |
| | 0,75 | 1,2 | 1,9 | 2,6 | 3,4 | 4,6 |
| Toughened safety glass | 3mm | 4mm | 5mm | 6mm | 8mm | 10mm |
| | 1,9 | 3,0 | 4,5 | 6,0 | 8,0 | 10,0 |
- DRAINAGE NOTES:**
- All drainage according to national building regulations SANS 10400 and to comply with local authority regulations.
- Drainage pipes to consist of 100 Ø mm PVC soil pipes.
- 50 Ø mm PVC waste pipes from baths and showers.
- 40 Ø mm PVC waste pipes from hwb ans sinks.
- 100 Ø mm PVC ventilation pipes to be installed at highest point/branches over 6 m/ branches with more than 1 outlet/sanitary group/galleys and grease traps.
- Foundations to be reinforced where pipes pass under floor slab.
- Fall of drainage line to be 1 : 60 minimum.
- STRUCTURAL NOTES:**
- All foundations to be in accordance with SANS 10400 part HH 2.2 - HH 2.4.
- All floors of laundry, kitchen, shower, bathroom and wet to be water-resistant according to SANS 10400 part J 4.2.
- Galvanised brickwork to be installed every four brick courses.
- OCCUPANCY CLASSIFICATION:** H 4
- ARCHITECTURAL APPOINTMENT**
- * Partial services 5 - up to local authority submission only
 - * Stage 1 - Stage 4.1 only
 - * As set out in client agreement

SWIMMING POOL NOTES: as per SANS 10400-D:2011 [4.4]

A wall or fence should be provided by the owner of a site that contains a swimming pool or a swimming bath to ensure that no person can have access to such a pool or bath from any street or public place or any adjoining other than through:

- a self closing and self latching gate with provision for locking in such a wall or fence, or
- a building where such a building forms part of such wall or fence.

Swimming pool to be designed by an engineer and constructed by an approved pool company.

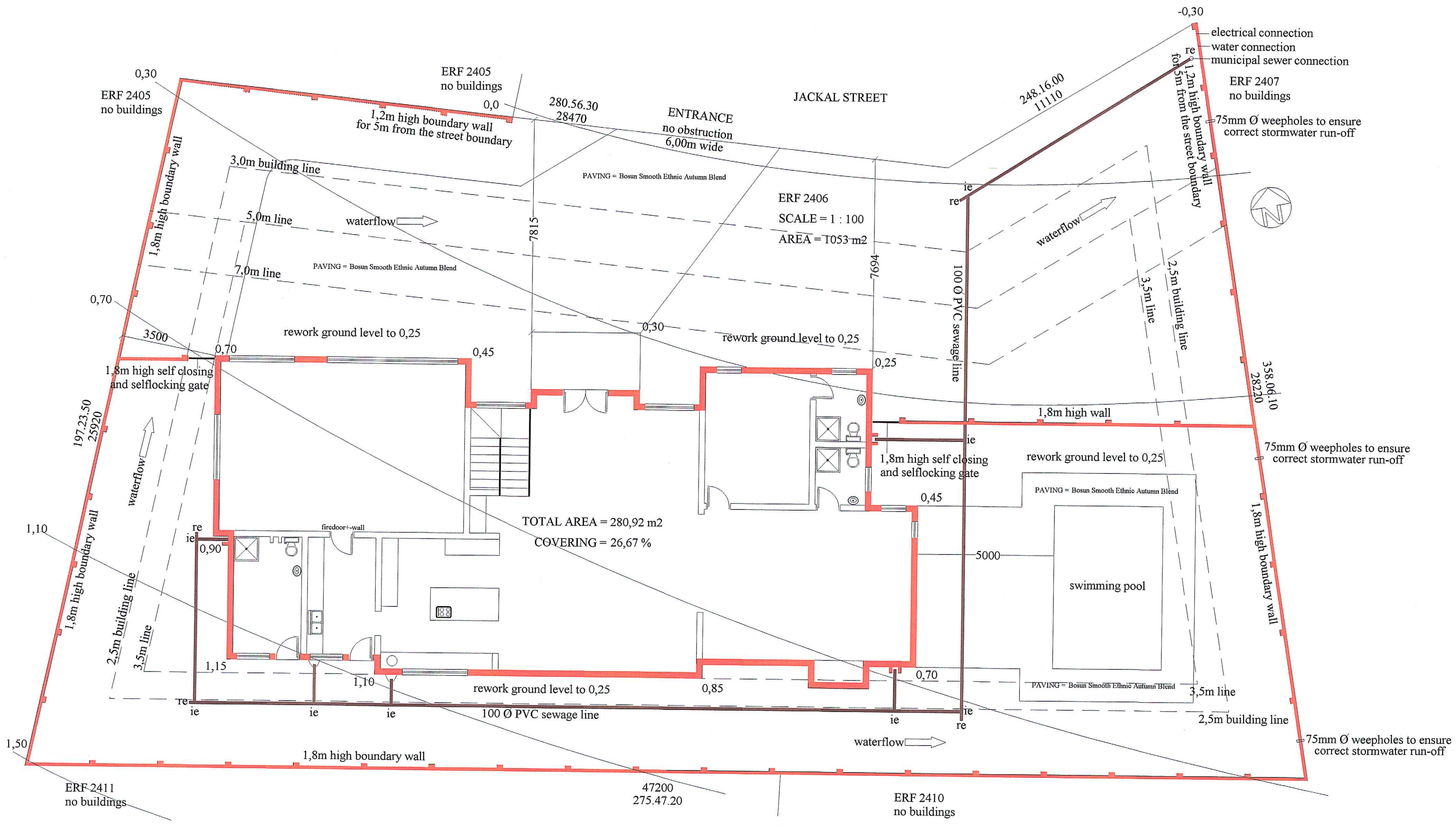
Backwash is to discharge into stormwater lines.

Additional methods including pool covers and warning devices as per SANS 10134.

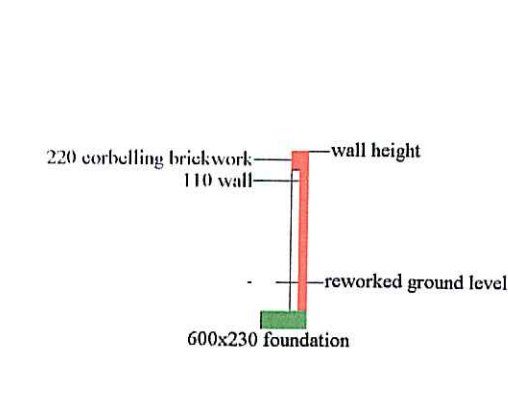
POOL FENCE AND GATE NOTE: as per SANS 10400-D:2011

4.4.3 Such wall or fence and any such gate therein shall not be less than 1,2m high measured from the ground level, and shall not contain any opening that will permit the passage of a 100mm Ø ball.

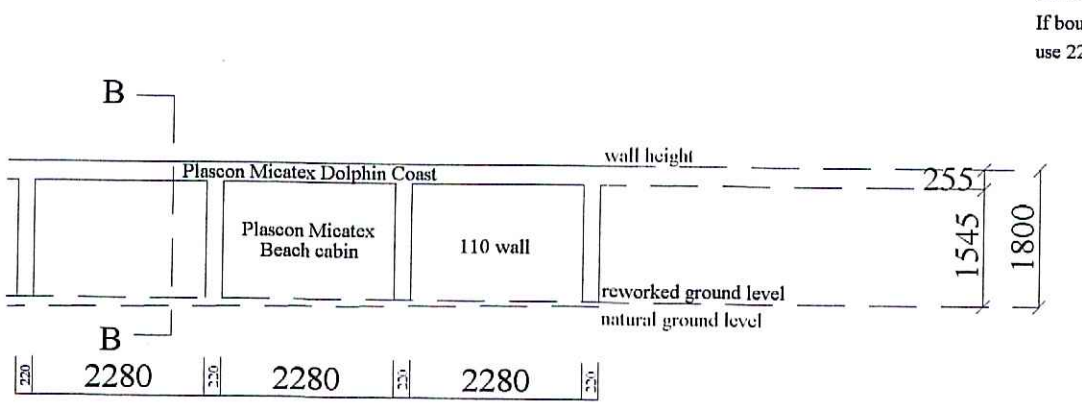
4.4.4 The construction requirements of any steel fence or gate shall comply with the requirements in SANS 1390.



SECTION B - B
SCALE = 1 : 100



ELEVATION OF BOUNDARY WALL
SCALE = 1 : 100



SCHOONGEZIGT
ESTATE

This drawing has been assessed by the Schoongezigt HOA architectural committee and is deemed to conform to the SHOA Architectural Guidelines.

Boundary wall not to exceed 1800 height
Wall plastered and painted on both sides
Foundation of wall must not exceed on the adjacent stand
Paintwork to match that of dwelling
If boundary wall is used as retaining wall due to filling up, use 220 wall up to 600 height and 330 wall up to 900 height

Client: JIMMY DU PLESSIS
Client signature: _____ Arch signature: _____

PROPOSED NEW DWELLING ON ERF 2406
CASHAN X 7, PHASE 3, SCHOONGEZICHT, RTB.

draughtsperson: DJ Strauss

SACAP registration no: D2521
Cell: 083 627 5085
e-mail: d.strauss@mweb.co.za
No 6 Villa Cariss, Azanza Ave 4

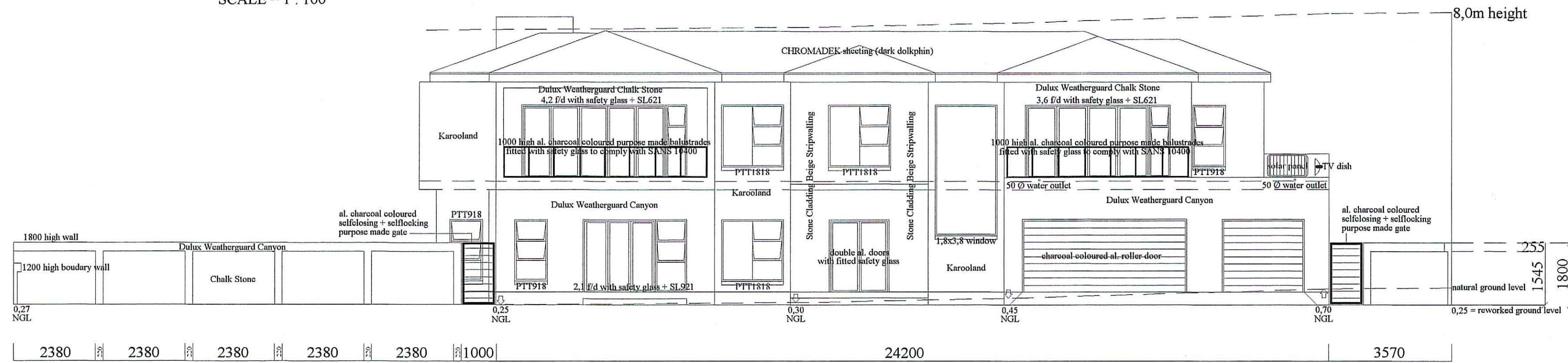
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ProteaPark, 0305
RUSTENBURG

ARCHITECT: JM du TOIT PRARCH 24751221

224 Leisure Bay Estate
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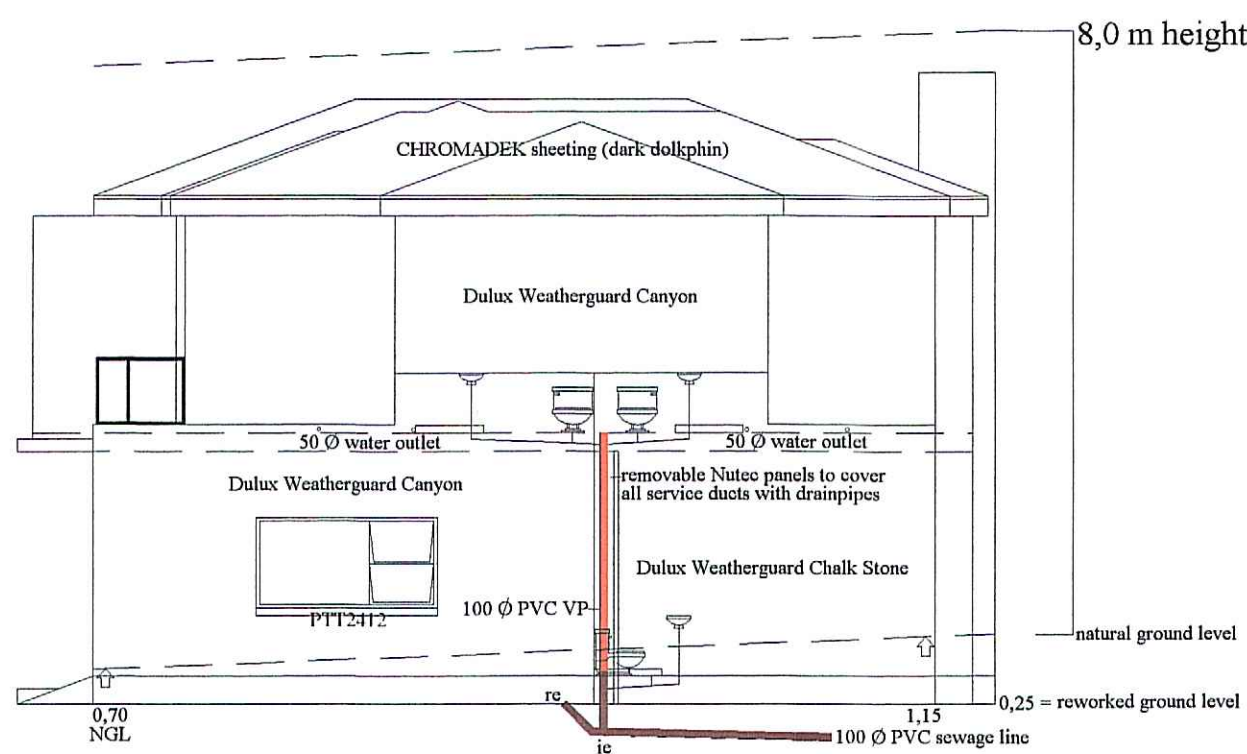
duToit ARCH
architecture & visualisation

NORTHERN ELEVATION
SCALE = 1 : 100

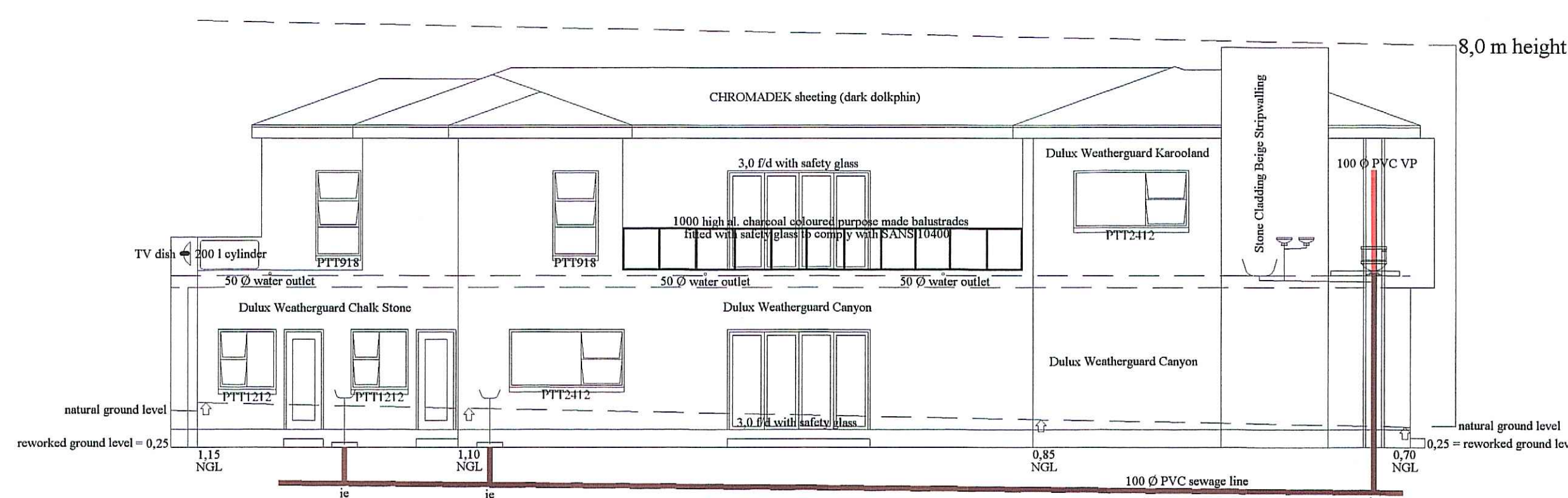


- GENERAL:
1. ALL FINISHED FLOOR LEVELS (FFL) ARE TO BE MINIMUM 255mm ABOVE THE NATURAL GROUND LEVEL.
 2. NO FOUNDATION IS TO ENCRoACH OVER THE SITE BOUNDARY.
 3. THESE DRAWINGS ARE TO BE READ WITH THE MODEL PREAMBLES FOR TRADES AND THE BILL OF QUANTITIES.
 4. ALL CONCRETE COLUMNS AND BEAMS SHOULD BE INSITU AND ALL EXPOSED CONCRETE WORK IS TO BE PROVIDED WITH A STANDARD 45° CHAMFER AS PER STRUCTURAL ENGINEER.
 5. ALL CONCRETE WORK INDICATED AS OFF-SHUTTER CONCRETE WORK SHOULD BE SMOOTH AND FREE OF MARKS.
 6. ALL CONCRETE SLABS AND SURFACE BEDS TO BE CAST WITH 25mm SOFT BOARD BETWEEN BRICKWORK AND CONCRETE WORK. STRICTLY TO ENGINEER'S SPECIFICATION.
 7. ALL EXPANSION JOINTS AND STRUCTURAL MOVEMENT JOINTS TO ENGINEER'S DETAIL.
 8. NO FLOOR, WALL OR OTHER COVERING MAY BE TAKEN OVER AN EXPANSION JOINT.

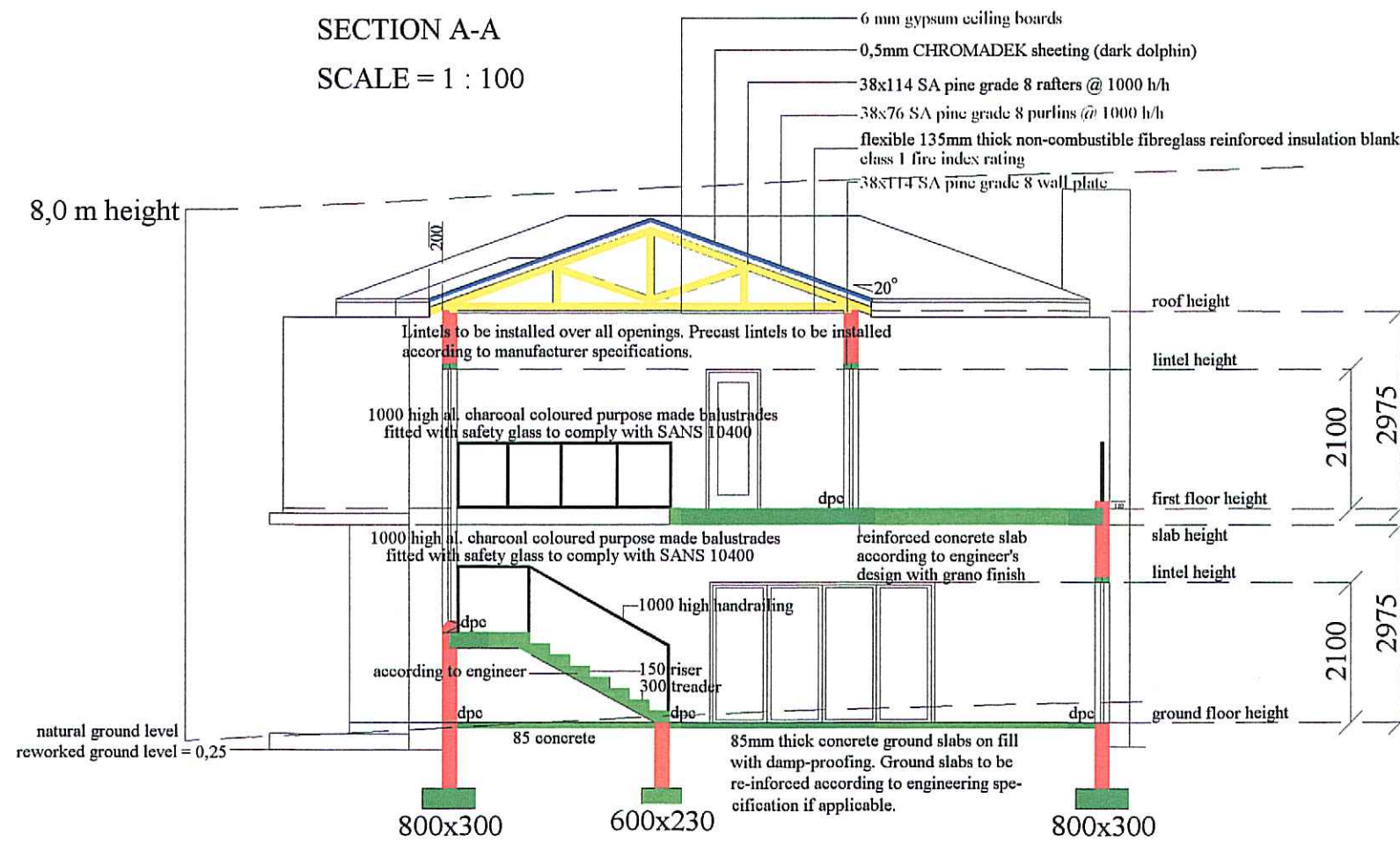
WESTERN ELEVATION
SCALE = 1 : 100



SOUTHERN ELEVATION
SCALE = 1 : 100



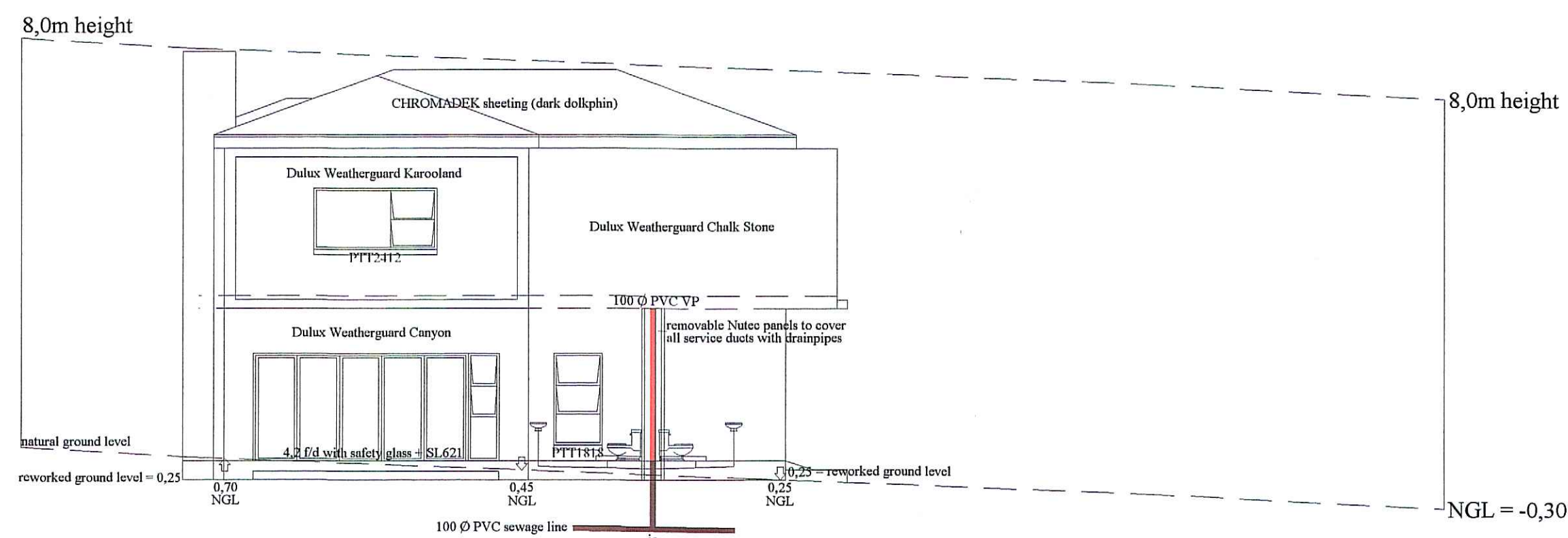
SECTION A-A
SCALE = 1 : 100



STAIR NOTE AS PER SANS10400-M:2011 (4.2.1) The headroom at any point shall not be less than 2,1m measured vertically from the pitch line. The width of any stairway may not be less than 750mm (4.2.2) no flight of stairs will have a vertical rise greater than 3m between landings (4.2.3) the rise of any step may not exceed 200mm (4.2.4) the trend of any stair may not be less than 250mm BALUSTRADE NOTE: balustrade at min. 1m high and shall not have any opening above the pitch line that permits the passage of a 100mmØ ball, as per SANS 10400-M:2011 (4.3)

375 micron USB green damp-proof membrane to be installed under all ground slabs, 375 micron BrickGrip DPC to all walls with 100mm minimum overlaps at all junctions. BrickGrip DPC must be installed to all window sills.
Filling to be well compacted in wetted layers of 150mm maximum and to Engineering specifications and / or recommendations. A certificate of compacting must be submitted on demand.
Brickforce steel wire re-inforcing to be installed in every course of foundation brickwork for a minimum of 5 courses and every 3rd course thereafter.

EASTERN ELEVATION
SCALE = 1 : 100



NOTES:
Quality of all materials and workmanship to comply with local authority national building regulations, S.A.B.S. specifications and the NBFC
The contractor is responsible for the correct setting out of the building's
All building lines, servitudes, dimensions, boundaries, levels, heights and dimensions are to be checked by the contractor
Drainage directions and depth to be confirmed with the local authority
All fixtures and fittings as well as all elements relating to the construction process must be in accordance with SANS 10400
All construction to comply with SANS 10400 deemed-to-satisfy rules unless otherwise specified
Electrical and plumbing work to be done by registered artisans
Temporary abatement facilities should be erected if necessary & must conform to local authority requirements and SANS 10400 part F
All materials used to be non-combustible

GLASS NOTES:
All glazing to comply with SANS 10400 part N & SABS recommendation 0137 & 1263 - 2000 as well as AAAMSA regulations which are based on SABS 0137
Glass lower than 300 mm to be Safety Glass
Dimensions for vertical glass supported by a frame on all sides in external walls

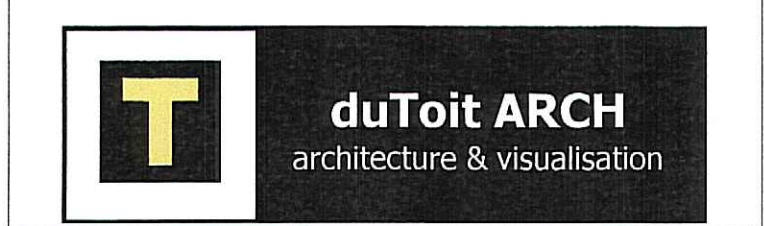
Type of glass	Maximum pane area m ²						
	3mm	4mm	5mm	6mm	8mm	10mm	12mm
Monolithic annealed glass	0,75	1,5	2,1	3,2	4,6	6,0	6,0
Patterned annealed/wired glass	0,75	1,2	1,9	2,6	3,4		
Laminated annealed safety glass				2,9	4,3	5,7	5,7
Toughened safety glass	1,9	3,0	4,5	8,0	8,0	8,0	8,0

DRAINAGE NOTES:
All drainage according to national building regulations SANS 10400 and to comply with local authority regulations
Drainage pipes to consist of 100 Ø mm PVC soil pipes
50 Ø mm PVC waste pipes from baths and showers
40 Ø mm PVC waste pipes from lavb and sinks
100 Ø mm PVC ventilation pipes to be installed at highest point/branches over 6 m/ branches with more than 1 outlet/sanitary group/gullies and grease traps
Foundations to be reinforced where pipes pass under floor slab
Fall of drainage line to be 1 : 60 minimum

STRUCTURAL NOTES:
All foundations to be in accordance with SANS 10400 part HB1 2.2 - HB1 2.4
All floors of laundry, kitchen, shower, bathroom and wc to be water-resistant according to SANS 10400 part J 4.2
Galvanized brickforce to be installed every four brick courses

OCCUPANCY CLASSIFICATION: H 4
ARCHITECTURAL APPOINTMENT
* Partial service 5 - up to local authority submission only
* Stage 1 - Stage 4.1 only
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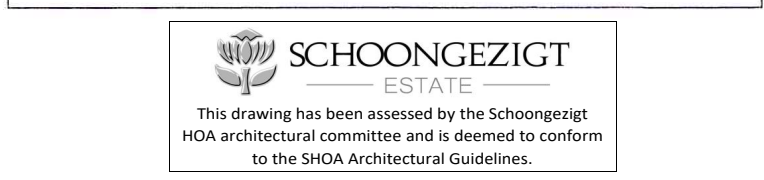
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073 844 9178
admin@duitoitarch.co.za
www.duitoitarch.co.za



Client: JIMMY DU PLESSIS
Client signature: _____ Arch signature: _____

PROPOSED NEW DWELLING ON ERF 2406
CASHAN X 7, PHASE 3, SCHOONGEZICHT, RTB.

draughtsperson: DJ Strauss
SACAP registration no: D2521 PO Box 20750
Cell: 083 627 5085 Proteasburg, 0305
e-mail: d.trauss@nweb.co.za RUSTENBURG
No 6 Villa Carissa, Azanza Ave 4



This drawing has been assessed by the Schoongezigt HOA architectural committee and is deemed to conform to the SHOA Architectural Guidelines.

PART T: FIRE
- TO COMPLY TO SANS 10400 PART T OF 2011
- 4.2 SAFETY DISTANCES
- 4.35 FIRE HYDRANT
- 4.54 ACCESS FOR FIRE FIGHTING