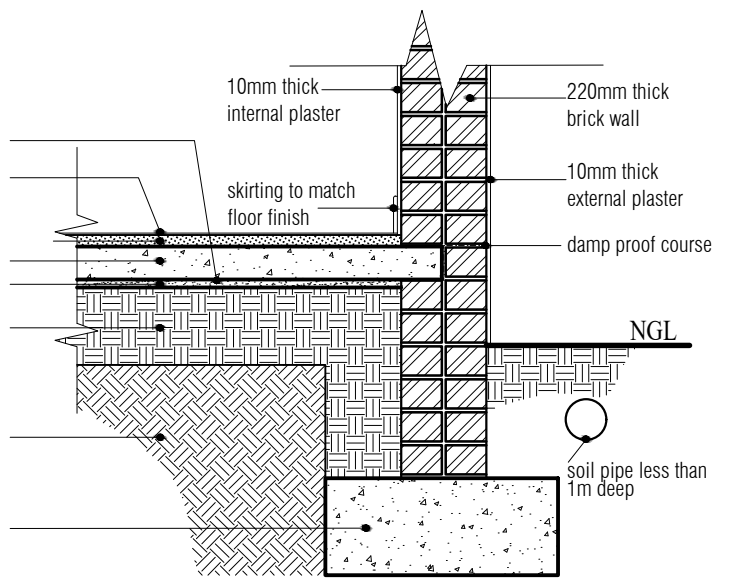
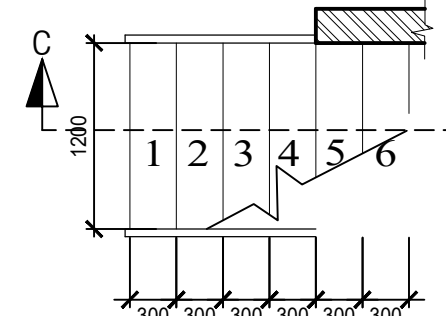


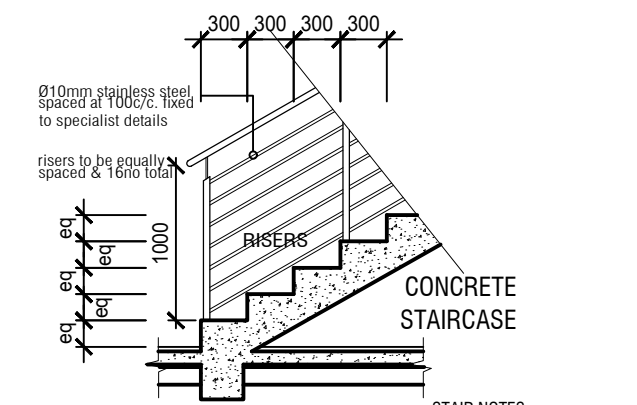
DAMP PROOF MEMBRANE
FLOOR FINISH AS ON FLOOR PLAN
30mm SAND CEMENT SCREED
85mm SURFACE BED
25mm SAND BLINDING
150mm WELL COMPACTED
HARDCORE
NATURAL GROUND
600x230mm CONCRETE STRIP
FOUNDATION FOOTING



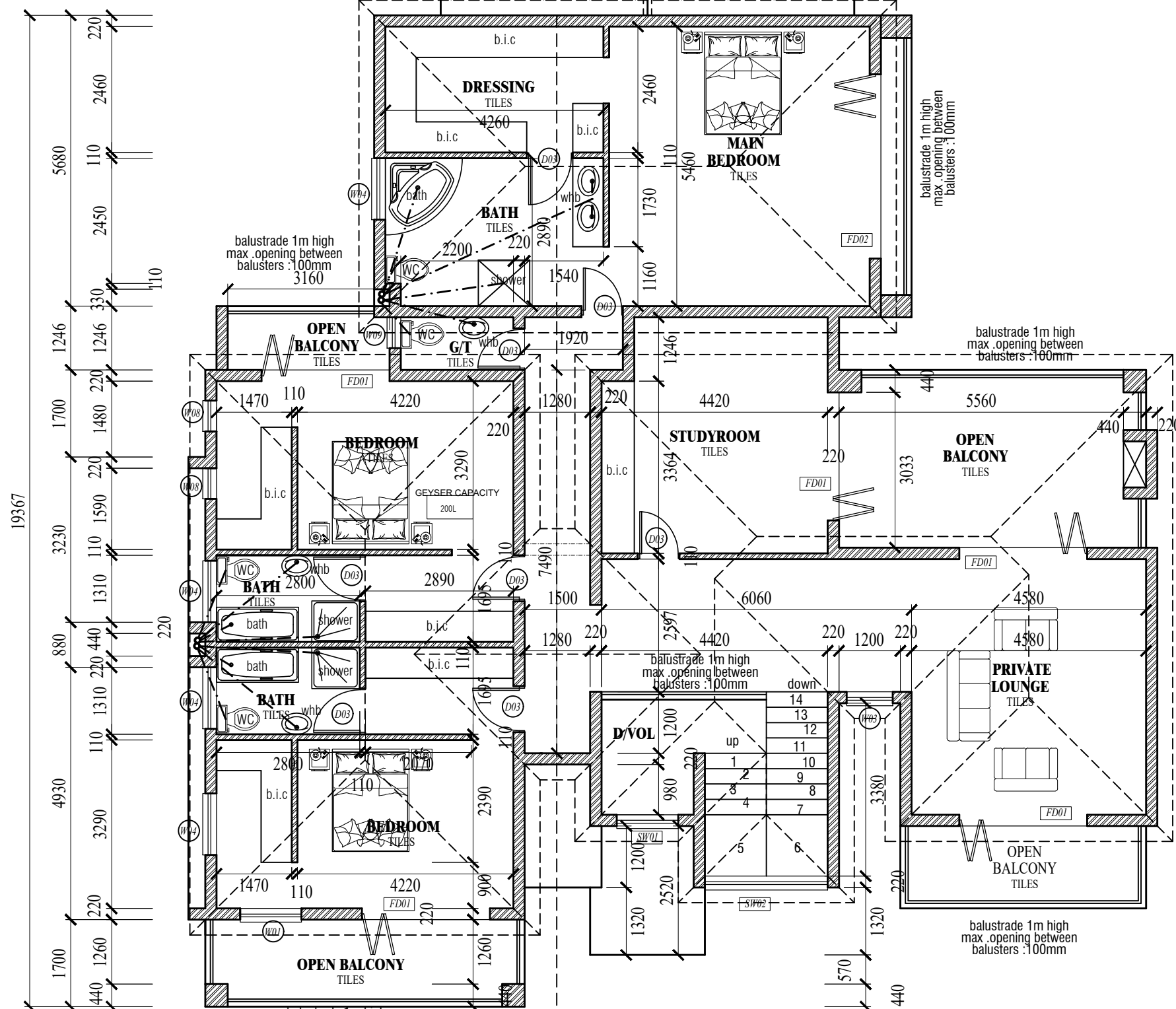
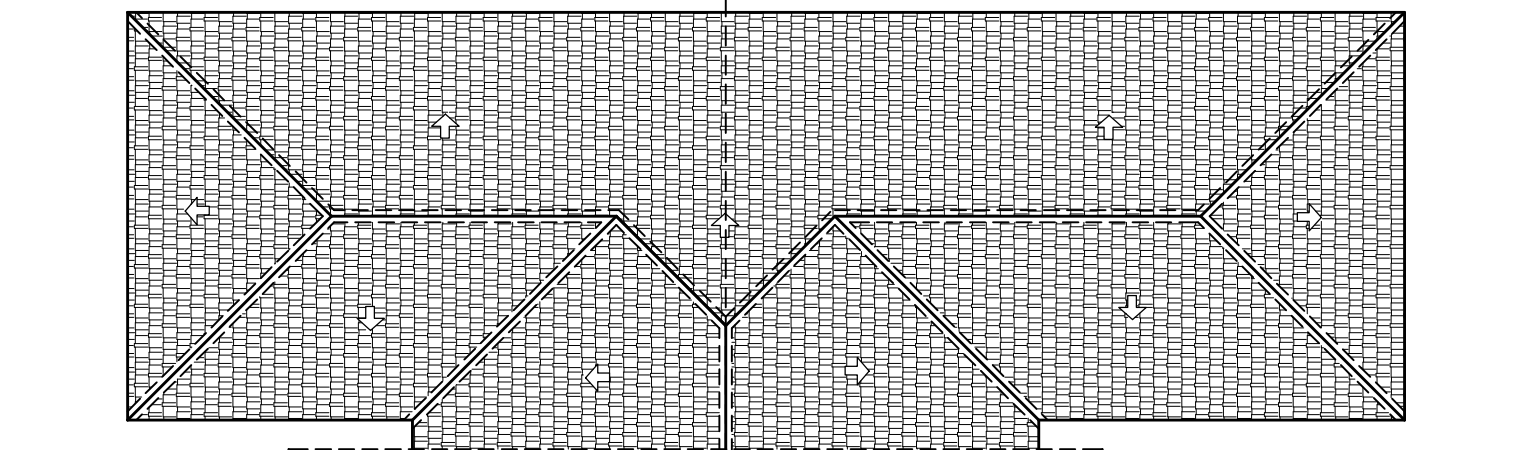
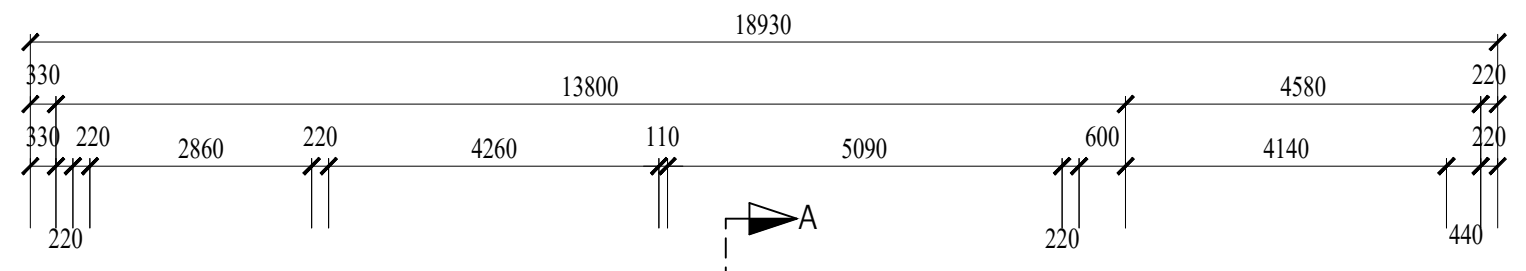
FOUNDATION DETAIL
SCALE 1:20



STAIRCASE PLAN
SCALE 1:50

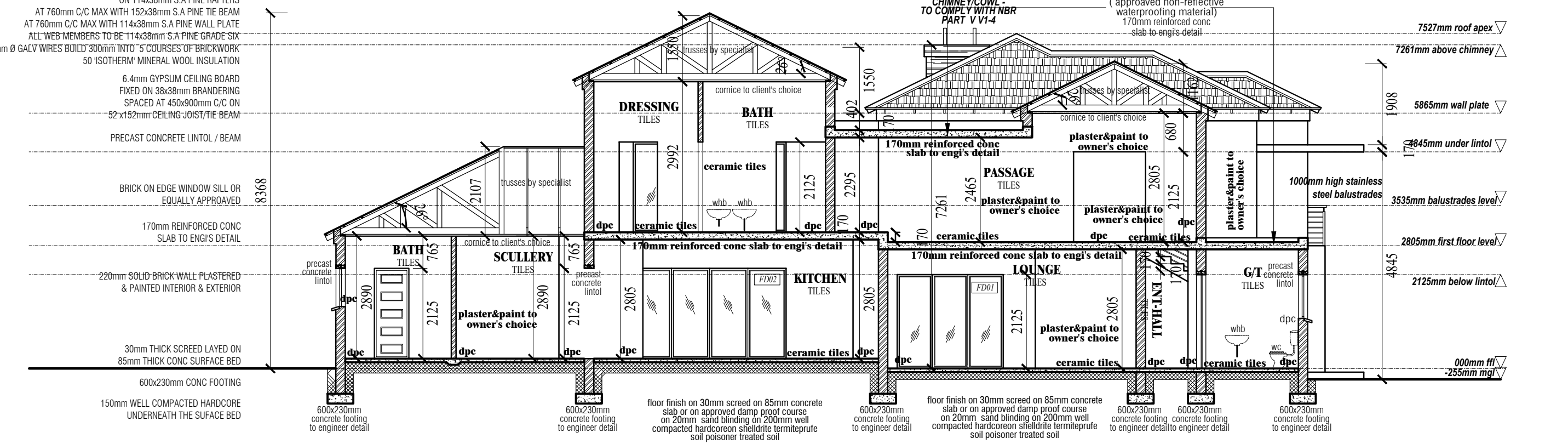


SECTION C-C
SCALE 1:50



FIRST FLOOR PLAN
SCALE 1:100 377m²

ROOF NOTES
CONCRETE ROOF TILES TO MANUFACTURER'S SPECIFICATIONS AT 26° PITCH ON 38x38mm S/A PINE BATTERINGS AT 345 C/C MAXIMUM WITH 410 ISALATION TO MANUFACTURER'S ON 114x38mm S/A PINE RAFTERS AT 760mm C/C MAX WITH 152x38mm S/A PINE TIE BEAM AT 760mm C/C MAX WITH 114x38mm S/A PINE WALL PLATE ALL WEB MEMBERS TO BE 114x38mm S/A PINE GRADE C30 24mm Ø GALV WRES BUILD 300mm INTO 5 COURSES OF BRICKWORK 50 ISO THERM MINERAL WOOL INSULATION 6.4mm EPS/UM CEILING BOARD FIXED ON 38x38mm BRACKERING SPACED AT 450x60mm C/C ON 52x150mm SPACED JOIST/TIE BEAM PRECAST CONCRETE LINTOL / BEAM



SECTION A-A
SCALE 1:100

ALL WORK TO COMPLY WITH SABS 0400 AND NATIONAL BUILDING REGULATIONS
NB. WATER DISCHARGE PIPE TO BE INSTALLED IN THE SAME DUCTS OF SEWAGE SYSTEMS
*NB. NO GUTTERS USED

STORM WATER MUST FLOW WHERE THE DIRECTION OF THE SLOPE FLOWS
SANS 10400-T-2011, Edition 3 4.9.2
b) ANY DOOR BETWEEN SUCH GARAGE & ANY SUCH ROOM SHALL HAVE A FIRE RESISTANCE OF NOT LESS THAN 30minutes & SUCH DOORWAY SHALL REQUIRE A THRESHOLD OF NOT LESS THAN 10mm &
c) NO COMBUSTIBLE ROOF COMPONENTS SHALL PENETRATE THE SEPARATING ELEMENT DIVIDING THE SPACE BETWEEN THE GARAGE & THE HABITABLE ROOM

GEYSER INSTALLATION TO COMPLY WITH SABS 0252 GLAZING TO COMPLY WITH SABS 0137 AND SABS 0400 PART 'N'
APPLICATION COMPLIES WITH SANS 10400 X-A SANS 204

WINDOW FRAMES TO BE ALUMINIUM ANODISED BRONZE
NO EXTERNAL BURGLAR BARS; ONLY RECTANGULAR FORMS CAN BE INSTALLED

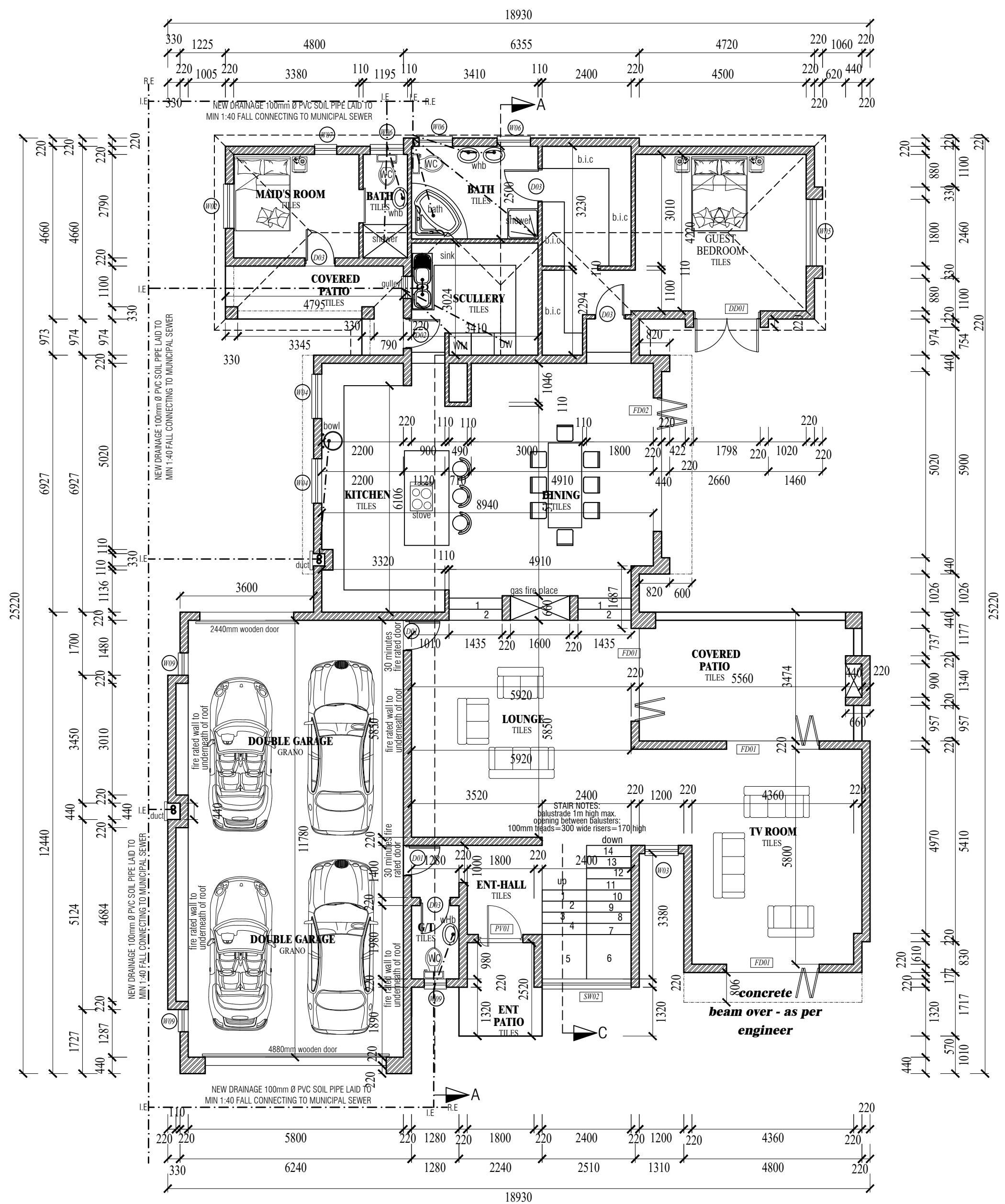
ALL EXTERNAL LIGHTS WALL MOUNTED TO BE MORE THAN 1m ABOVE NGL
BOUNDARY WALLS TO MATCH HOUSE & TO BE MAINTENANCE FREE ON NEIGHBOURS SIDE
STORM WATER MUST FLOW WHERE THE DIRECTION OF THE SLOPE FLOWS

ALL CONCRETE ROOF TO BE FINISHED WITH NON-REFLECTIVE FINISHES

EXPOSED DRAINAGE PIPES & REMOVABLE DUCTS PANELS TO BE PAINTED TO MATCH THE WALLS
CHIMNEY AS PER PART V V1-4' OF NBR

DRAINAGE DESIGN TO BE IN ACCORDANCE WITH THE NBR

NB : ANY WOOD TO COMPLY WITH WOOD SANS 10163



GROUND FLOOR PLAN
SCALE 1:100 350m²

NOTES

ROOF: TILES

- 26° PITCH TILE ROOF WITH SABS APPROVED UNDERLAY
- TILES ON 38x38mm BATTERINGS AT 320mm CENTRES MAX
- TRUSSES FROM SA PINE AT 760mm CENTRES FASTENED SECURELY WITH 2 WIRES OF 4mmØ EMBEDDED AT LEAST 300mm INTO BRICKWORK WITH CONNECTING DEVICES ACCORDING TO TABLE L2, SCHEDULE 1, OF SABS 0400
- ALL WEB MEMBERS TO BE MINIMUM 38x114mm GARDE 4 WITH EQUAL BAYS SMALLER THAN 1500mm. APPROVED BRACING MUST PREVENT BUCKLING AND KEEP TRUSSES UPRIGHT
- VALLEY AND HIP RAFTERS TO BE GRADE 6 50x28 SA PINE
- LAMINATED TIMBER TO COMPLY WITH SABS 876
- 50mm GLASS FIBRE INSULATION TO BE INSTALLED ON CEILING

FLOORS AND WATERPROOFING

- GROUND FLOOR SLAB = 85mm THICK 20mpa CONCRETE PERFECTLY LEVEL AND AT MINIMUM 150mm ABOVE GROUND LEVEL ON PROPERLY COMPACTED HARDCORE FILL
- 25mm THICK SCREED AND FINISHES AS INDICATED
- SUSPENDED CONCRETE FLOOR SLABS TO ENGINEER'S DETAIL AND SPECIFICATIONS
- DPC UNDER ALL WALLS (EXCEPT FREE STANDING), FLOORS AND WINDOW SILLS AND TO ALL VERTICAL CHANGES IN FLOOR LEVELS
- FLUSHINGS TO ALL PARAPETS AND CHANGES IN ROOF LEVELS
- ATRIUMS AND COURTYARDS TO BE FITTED WITH AT LEAST 1x50mmØ OUTLET PIPES FROM CATCHPIT FITTED WITH GRATING AND SILT TRAP
- PLANTERS TO BE WATERPROOFED AND DRAINAGE INSTALLED

FOUNDATIONS, BRICKWORK & PARTITIONS

- ALL FOUNDATIONS TO BE 25mpa CONCRETE AT LEAST 200x700mm. MINIMUM 200mm UNDER GROUND TO ENGINEER'S DETAILS AND SPECIFICATIONS
- BOUNDARY WALLS FOUNDATION MUST NOT ENROACH ON BOUNDARY AND WALLS ARE TO BE PLASTERED AND PAINTED ON THEIR INNER WALL
- PARAPET WALLS TO BE AT LEAST 300mm HIGH AND MAXIMUM 500mm WITH BRICKFORCE IN EVERY COURSE
- ALL SCREEN WALLS TO BE AT LEAST 1800mm HIGH ABOVE GROUND LEVEL
- LINTOLS TO BE SUPPORTED MINIMUM 150mm FOR OPENINGS UP TO 4800mm. BRICKFORCE TO BE BUILT IN EVERY COURSE BELOW FLOOR LEVEL AND ABOVE WINDOW LEVEL. EVERY THIRD COURSE BETWEEN BETWEEN IN CONTINUOUS BANDS
- NO TEETHING OR BLOCK BONDING WILL BE ALLOWED UNDER ANY CIRCUMSTANCES
- ANY PARTITION TO BE ROCKET PROOF

STAIRS AND BALUSTRADES

- STAIRS TO BE 750mm MIN WIDTH, TREADS 300mm, RISERS 170mm WITH 6mm MAX DEVIATION
- 1000mm HIGH BALUSTRADES TO ALL STAIRS AND BALCONIES
- MAX 3000mm VERTICAL RISE PER FLIGHT, WINDERS WHERE SHOWN. TO BE AT LEAST 250mm WIDE, 450mm FROM THE NARROW END AND ANGLE BETWEEN THE RISERS TO BE CONSTANT
- MINIMUM HEADROOM TO BE 2100mm MEASURED FROM PICHLINE
- GLASS BALUSTRADES (IF SHOWN) TO BE SAFETY GLASS

GLAZING

- ALL PANES 0 - 0.75m² = 4mm thick glass
- 0.75 - 1.5m² = 6mm thick glass
- BATHROOM WINDOWS TO BE FROSTED GLASS
- ALL GLAZING ON DOORS TO BE SAFETY GLASS
- ALL GLAZED AREA LESS THAN 300MM ABOVE FFL TO BE COVERED WITH SAFETY GLASS

AREA SCHEDULE

| | |
|--|----------|
| GROUND INCLUDING GARAGE FLOOR AREA | = 350 m² |
| FIRST FLOOR PLAN AREA WITHOUT OPEN BALCONY | = 248m² |
| FIRST FLOOR INCLUDING ALL BALCONIES AREA | = 277m² |
| GARAGE AREA | = 80m² |
| TOTAL AREA OF THE HOUSE | = 627m² |
| SITE PLAN AREA | = 816 m² |
| SITE COVERAGE | = 42.9 % |
| FIRST FLOOR PLAN COVERS 70 % OF THE GROUND FLOOR | |

DO NOT SCALE THE DRAWINGS

REVISIONS

| REV | DATE | DETAILS | BY |
|-----|----------|--------------------------------------|----|
| A | XX/XX/XX | XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX | XX |

STUDIO MEM PROFESSIONAL ARCHITECTURAL DESIGNS
GVM HOUSE, PLEAS STREET WEST, KAREN PARK, 0118
Ernest Munarini: 083 681 2497 / 082 842 1996
Tel: 012 549 3344
Fax: 086 651 5327
Email: studiomemarch@gmail.com
SACAP Reg no: Pr Arch T1615

PROPOSED NEW HOUSE FOR NDLOVU L.0 ERF 168 XANADU ECO PARK

WORKING DRAWINGS

| SCALE AS SHOWN | DATE 2015 | DESIGNED BY M.E.M | DRAWN BY N.B | CHECKED BY M.E.M |
|-----------------------|--|-------------------|--------------|------------------|
| DRAWING TITLE | GROUND FLOOR, FIRST FLOOR, SECTION & DETAILS | | | |
| SHEET | 02 OF 02 | | | |
| ENGINEER'S REF Number | | | | |
| CLIENT'S SIGNATURE | DATE | | | |